

# Brush Park Parking

Southern Neighborhood – 1/10/23 @ 5:30pm

Central Neighborhood – 1/11/23 @ 5:30pm

Northern Neighborhood – 1/12/23 @ 5:30pm





# MPD Brush Park Residential Zone Proposal Review

# Central Brush Park



# Municipal Parking Department (MPD) Community Engagement Meeting Procedure



- Participants must register to enter the meeting
  - Meeting for those residing or entities doing business in Central Brush Park MPD designation
- During the presentation – hold questions and comments until the question and comment section
- Raise hand to ask a question or provide feedback
  - Provide your name and residential or commercial address
  - 1 minute per question or comment
- Electronic copy of presentation is available for registrants upon request
  - Email [mpdresidentialparking@detroitmi.gov](mailto:mpdresidentialparking@detroitmi.gov)



# MPD Residential Parking Proposal Goals



- Provide residential parking relief
- Maintain support for non-residential entities operating in Brush Park
- Disincentivize non-Brush Park related parking



# MPD Brush Park RPP Plan Approach



- Review off-street parking capacity
- Review on-street parking capacity
- Review on-street usage
- Identify residential and non-residential parking activity
- Create RPP parking pressure reduction plan

Southern Brush Park



Central Brush Park



Northern Brush Park



# MPD Brush Park Neighborhood Divisions

## Southern Brush Park

Residential w/heavy Little Caesars Arena (LCA) activity and Hotel/Airbnb activity

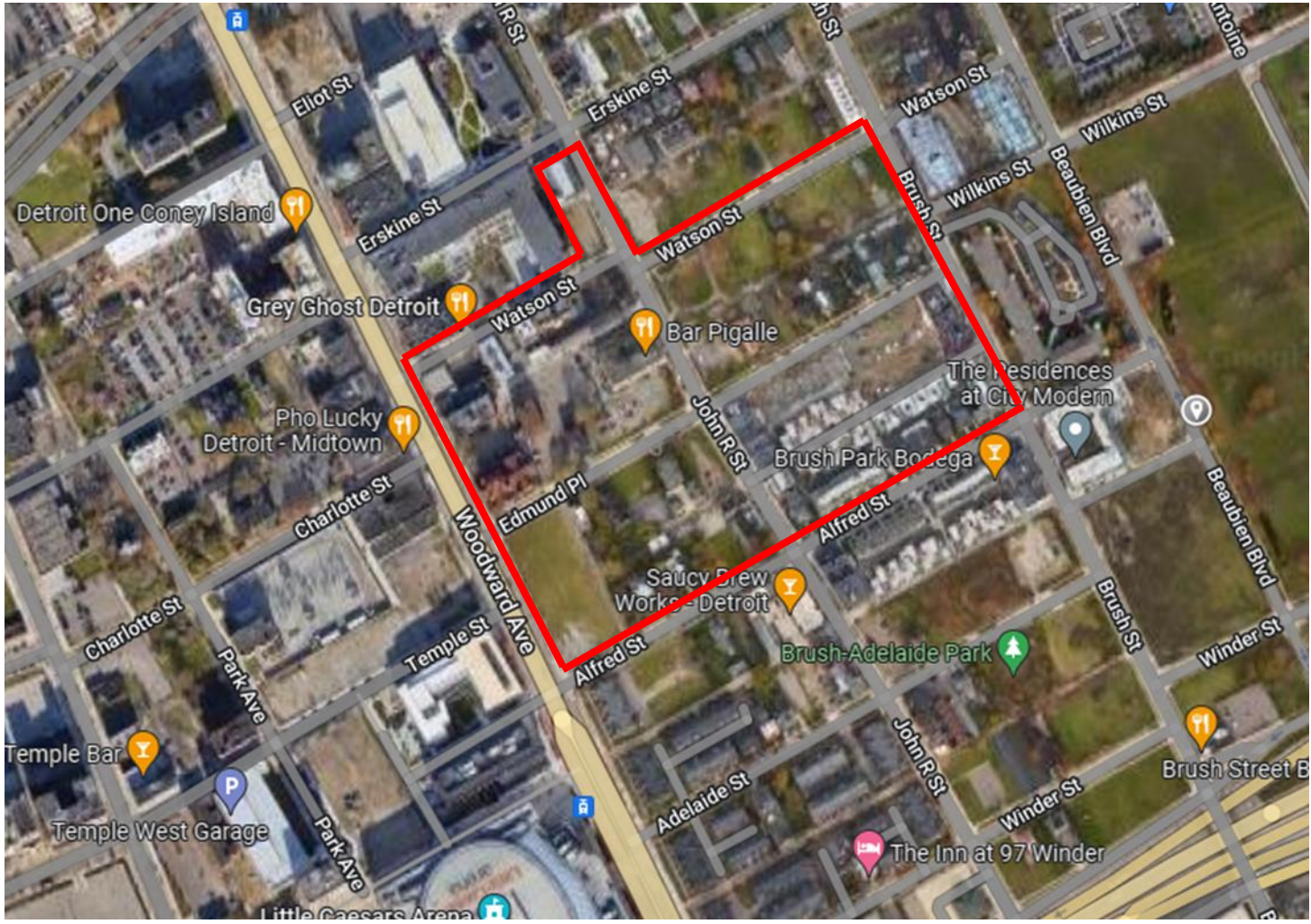
## Central Brush Park

Mixed residential/retail/office/commercial w/heavy LCA activity

## Northern Brush Park

Mixed residential/retail/commercial/non-profit/organizations/government w/less LCA activity and more WSU/DMC activity

# Central Brush Park Mixed Residential-Commercial w/Heavy LCA Activity



- Boundaries
  - Starting point-intersection of Woodward & Alfred
  - Woodward to Watson
  - Watson to John R
  - John R to Erskine
  - John R @ Erskine to Watson
  - Watson to Brush
  - Brush to Alfred





# Central Brush Park Neighborhood Makeup - Alfred



- Residential -Alfred
  - 2650-5660 Woodward – attached garage parking
  - 20 Alfred – attached garage parking
  - 59 Alfred – no parking
  - J.P. Donaldson House 82 Alfred– alley access w/ detached garage parking
  - The Flats at City Modern – small shared parking lot in the rear
  - Ransom Gills House 205 Alfred – no parking
  - City Modern 2660 John R mixed residential & retail – alley access w/attached garage parking
  - James V. Campbell House 261 Alfred – alley access with parking in the rear
  - The Stories at City Modern 265 Alfred– alley access with parking in the rear
  - The Twins at City Modern 279-295 Alfred– alley access with parking in the rear
  - The Residents at City Modern 320 Edmund mixed-use w/retail – residential unit garage parking & on-street retail parking
- Commercial
  - VanOverbeke Michaud & Timmony Law Firm 79 Alfred – alley access w/parking in the rear
  - Fleur De Lis Bookkeeping Firm – small shared parking lot in the rear
  - ChargePoint 2705 John R - small shared parking lot in the rear
  - Saucy Brew Works Detroit 2670 John R - small shared parking lot in the rear
  - Detroit PhoDOgraphy 2660 John R – no parking
  - Brush Park Bodega 2671 Brush – no parking
  - Bondy Construction & Design 2833 Brush – No parking





# Central Brush Park Neighborhood Makeup – Edmund



- Residential -Edmund
  - 69 Edmund (vacant) – no parking
  - 46 Edmund – alley access w/minimal parking in the rear
  - 64 Edmund – no parking w/alley access
  - Lucien S. Moore House 104 Edmund – alley access w/ detached garage parking
  - 112 Edmund Brush Park Condos – future development
  - Henry Glover House 229 Edmund – under construction w/some parking to be included
  - John P. Fiske House 261 Edmund – alley access with parking in the rear
  - 291 Edmund – alley access with parking in the rear in detached garages
  - The Residents at City Modern mixed-use w/retail – residential unit garage parking & on-street retail parking
- Non-Profit
  - Ecumenical Theological Seminary– large parking lot surrounding the property
- Non-Profit
  - ACLU & Age Management 2966 Woodward– parking lot in the rear
- Commercial
  - The Carlton Detroit 2915 John R – gate lot surrounding the property
  - Bar Pigalle 2915 John R – parking lot across the street



# Central Brush Park Neighborhood Makeup - Watson

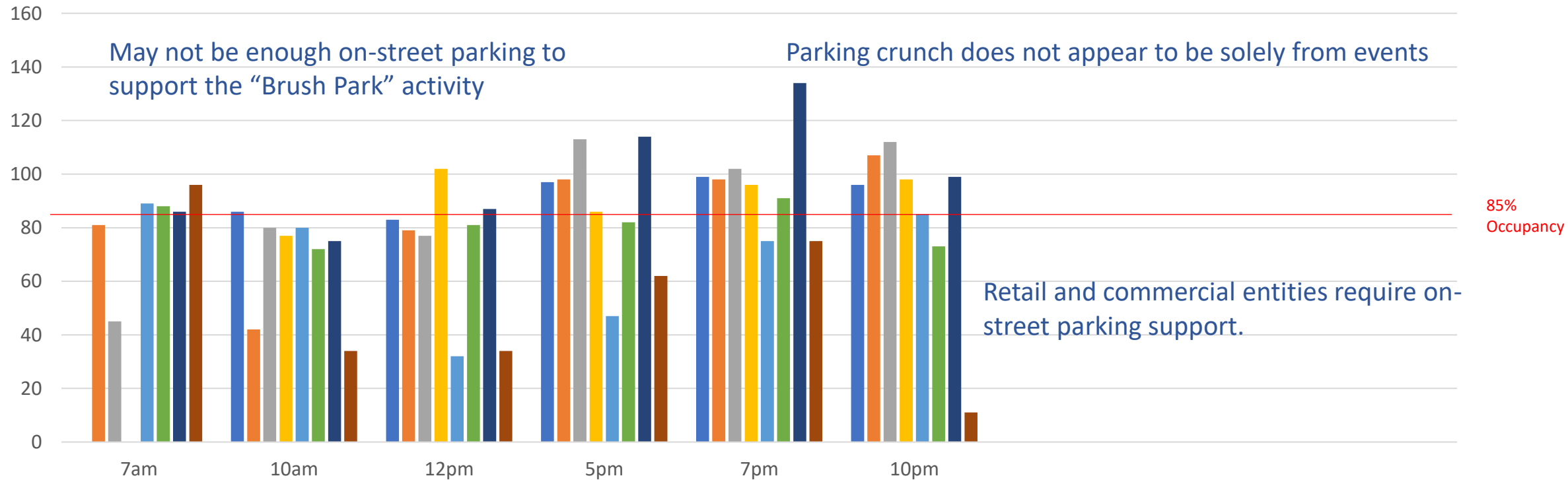


- Residential -Watson
  - 64 Watson – parking lot directly across the street
  - Carola Building 78 Watson – parking lot w/detached garages
  - 112 Watson – no parking
  - 2959 John R – alley access with garage parking(amount unknown)
  - 311 Watson – alley access and grass parking in rear
  - Brush 8 Townhomes 3119 Brush – alley access unit garage parking
  - 312 Watson – parking lot in the rear w/alley access
  - 264 Watson – unoccupied with no parking future alley access
- Non-Profit
  - ACLU & Age Management 2966 Woodward– parking lot in the rear
- Commercial
  - Bakersfield, Café Alto, Liz in Detroit Properties, Grey Ghost, @Properties – small parking lot
  - Second Best & District Capital – Lot on side of the property
  - Motown Makedown, The Bankle Vacant (both vacant) & Right Key Marketing Detroit – small lot in rear w/alley access
  - Dr. Lothar M. Melvin, DDS 257 Watson – driveway parking



# Alfred (Woodward to Brush)

On-street parking occupancy



LCA: Little Caesars Arena  
 FF: Ford Field  
 CP: Comerica Park  
 FOX: Fox Theatre  
 FIL: Filmore Theatre

**EVENTS – 6/29/22**  
 LCA: Dynamite/Rampage 7p  
 FOX: Tedeschi Trucks Band 6:30p  
**Thursday**

**EVENTS – 7/1/22**  
 CP: Tigers vs Royals 7:10p  
**Friday**

**EVENTS-7/2/22**  
 CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
**Saturday**

**EVENTS-7/3/22**  
 CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
**Sunday**

**EVENTS-7/7/22**  
 FIL: War on the Catwalk 7p  
**Thursday**

**EVENTS-7/11/22**  
 No Events  
**Monday**

**EVENTS-7/14/22**  
 LCA: Kevin Hart 7p  
**Thursday**

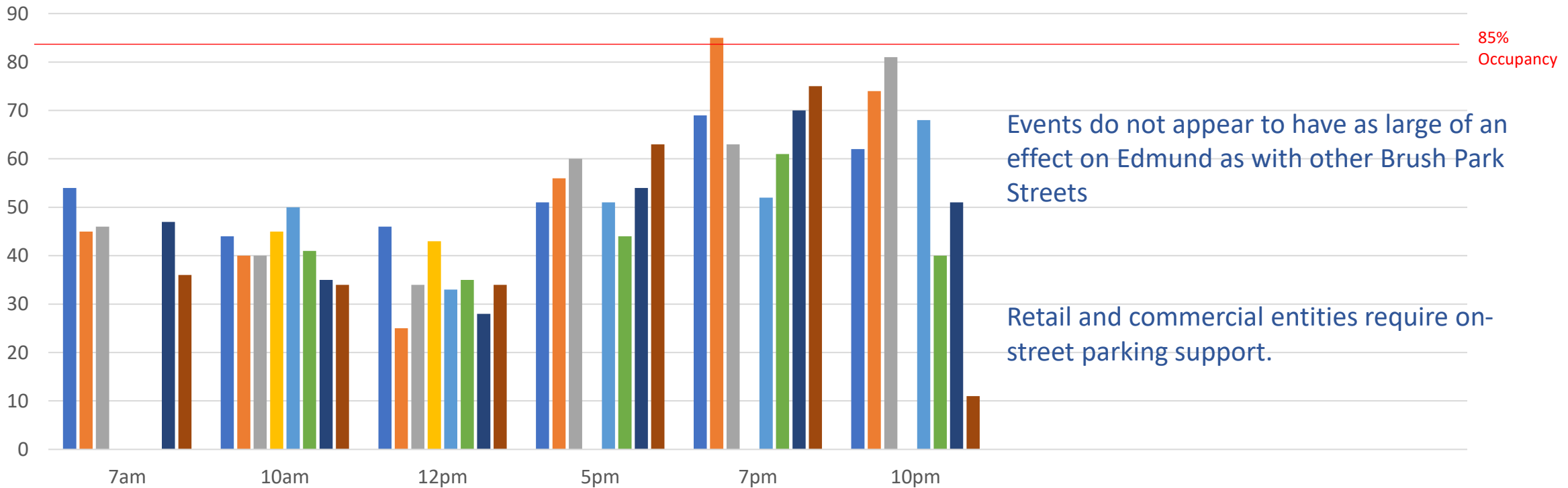
**EVENTS-7/18/22**  
 CP: Elton John 8p  
 Filmore: Three Days Grace 6p  
**Monday**





# Edmund (Woodward to Brush)

On-street parking occupancy



LCA: Little Caesars Arena  
 FF: Ford Field  
 CP: Comerica Park  
 FOX: Fox Theatre  
 FIL: Filmore Theatre

**EVENTS – 6/29/22**  
 LCA: Dynamite/Rampage 7p  
 FOX: Tedeschi Trucks Band 6:30p  
**Thursday**

**EVENTS – 7/1/22**  
 CP: Tigers vs Royals 7:10p  
**Friday**

**EVENTS-7/2/22**  
 CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
**Saturday**

**EVENTS-7/3/22**  
 CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
**Sunday**

**EVENTS-7/7/22**  
 FIL: War on the Catwalk 7p  
**Thursday**

**EVENTS-7/11/22**  
 No Events  
**Monday**

**EVENTS-7/14/22**  
 LCA: Kevin Hart 7p  
**Thursday**

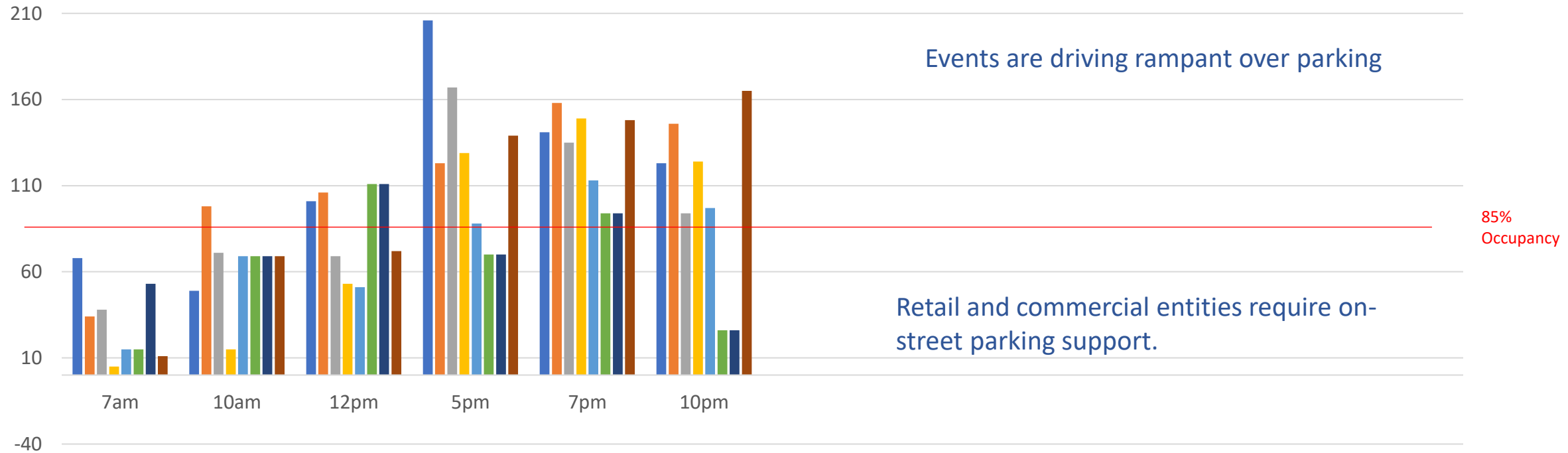
**EVENTS-7/18/22**  
 CP: Elton John 8p  
 Filmore: Three Days Grace 6p  
**Monday**





# Watson (John R to Brush)

On-street parking occupancy



LCA: Little Caesars Arena  
 FF: Ford Field  
 CP: Comerica Park  
 FOX: Fox Theatre  
 FIL: Filmore Theatre

**EVENTS – 6/29/22**

LCA: Dynamite/Rampage 7p  
 FOX: Tedeschi Trucks Band 6:30p  
 Thursday



**EVENTS – 7/1/22**

CP: Tigers vs Royals 7:10p  
 Friday



**EVENTS-7/2/22**

CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
 Saturday



**EVENTS-7/3/22**

CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
 Sunday



**EVENTS-7/7/22**

FIL: War on the Catwalk 7p  
 Thursday



**EVENTS-7/11/22**

No Events  
 Monday



**EVENTS-7/14/22**

LCA: Kevin Hart 7p  
 Thursday

**EVENTS-7/18/22**

CP: Elton John 8p  
 Filmore: Three Days Grace 6p  
 Monday





# John R (Erskine to Edmund)

On-street parking occupancy



Events are not affecting parking and this area is below the 85%

Retail and commercial entities require on-street parking support.

Residents may still need some parking support.

85%  
Occupancy

LCA: Little Caesars Arena  
 FF: Ford Field  
 CP: Comerica Park  
 FOX: Fox Theatre  
 FIL: Filmore Theatre

**EVENTS – 6/29/22**

LCA: Dynamite/Rampage 7p  
 FOX: Tedeschi Trucks Band 6:30p  
**Thursday**



**EVENTS – 7/1/22**

CP: Tigers vs Royals 7:10p  
**Friday**



**EVENTS-7/2/22**

CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
**Saturday**



**EVENTS-7/3/22**

CP: Tigers vs Royals 4:10p  
 LCA: Summer Slam 8p  
**Sunday**



**EVENTS-7/7/22**

FIL: War on the Catwalk 7p  
**Thursday**



**EVENTS-7/11/22**

No Events  
**Monday**



**EVENTS-7/14/22**

LCA: Kevin Hart 7p  
**Thursday**

**EVENTS-7/18/22**

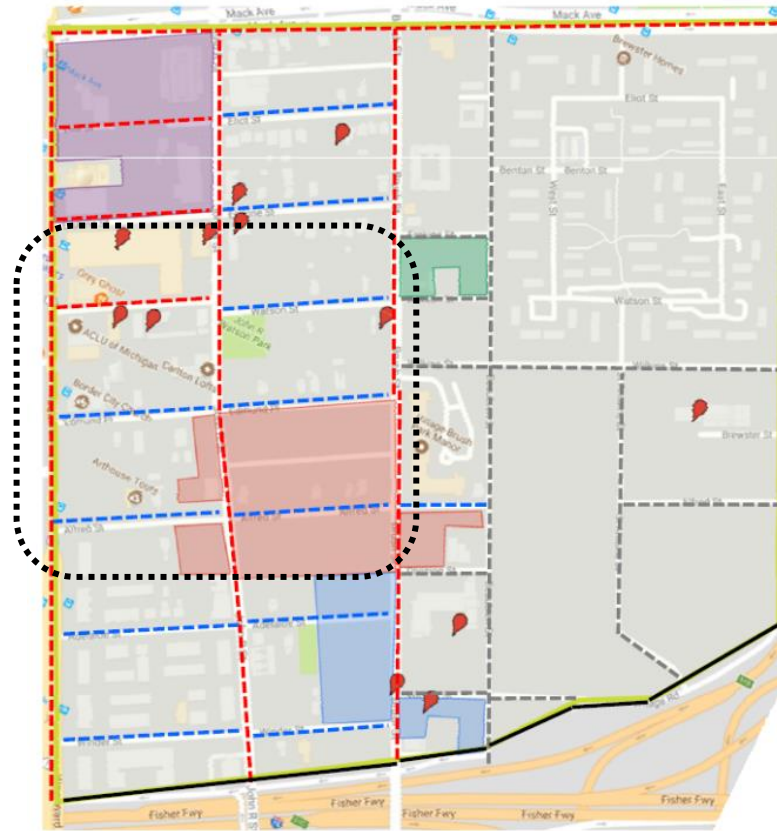
CP: Elton John 8p  
 Filmore: Three Days Grace 6p  
**Monday**



# Brush Park CDC Recommendations



Meeting Focus Area



**BRUSH PARK CDC**  
Neighborhood Parking  
Recommendations  
Updated as of 3.7.18

- Recommendations Key**
- Permit Parking
  - Paid Parking Zone
  - No Parking
  - - - - TBD

The highlighted areas and markers represent development projects proposed or currently underway in Brush Park.

For information on the development projects noted on this map, please visit our website at [BrushParkCDC.org](http://BrushParkCDC.org)



# Residential Parking Plan – Alfred/Edmund/Watson Streets (Brush Park) Area #2



- Residential Parking —
- Meter Parking —
- No Parking —
- Non- Meter Parking —
- Private Lots Private Lots
- Future RPP Parking - - -
- Residential Meter Parking —
- Residential Groups
- Future Non-Meter Parking - - -





# MPD Brush Park RPP Plan Rationale for Central Brush Park



- Residents have protected parking daily (6pm until 7am)
  - Alfred, Edmund, Watson (Alfred to Edmund additional parking on Brush between Edmund and Adelaide)
  - Other Brush Park residents are unable to use the available space in Central Brush Park
- Retail, commercial, and professional activity parking still supported
  - Introduction of meters supports parking turnover in commercial areas to support current and future businesses
- Non-Southern Brush Park parking disincentivized
  - MPD will enforce violators
    - Non-Residential Permit holders
    - Meter violators
    - Parking is reduced with RPP zones and meters

# Time Period Sign Only Residential Parking Zone

Signs for Zones  
416 (Alfred)  
417 (Alfred)

- Two vehicles per permit will be allowed to be registered
- 30 annual visitor passes
- Potentially up to 3 caregiver passes
- Car Rental passes based on visitor pass availability



Residential permit holders park  
24hrs every day

Non-Residential permit holders  
can park between 9am to 4pm



# Time Period Metered Residential Parking Zone

Residential permit holders park 24hrs every day without paying meters



- Two vehicles per permit will be allowed to be registered
- 30 annual visitor passes
- Potentially up to 3 caregiver passes
- Car Rental passes based on visitor pass availability



Non-Residential permit holders can park between 9am to 4pm but must pay the meters



# Time Period Metered Residential Parking Zone

Residential permit holders park 24hrs every day without paying meters

Signs for Zones  
418, 419, 420, 421  
(Alfred, Edmund,  
Watson, Brush)

- Two vehicles per permit will be allowed to be registered
- 30 annual visitor passes
- Potentially up to 3 caregiver passes
- Car Rental passes based on visitor pass availability



Non-Residential permit holders can park between 7am to 6pm but must pay the meters

# Time Period Metered Residential Parking Zone

Residential permit holders park 24hrs every day without paying meters



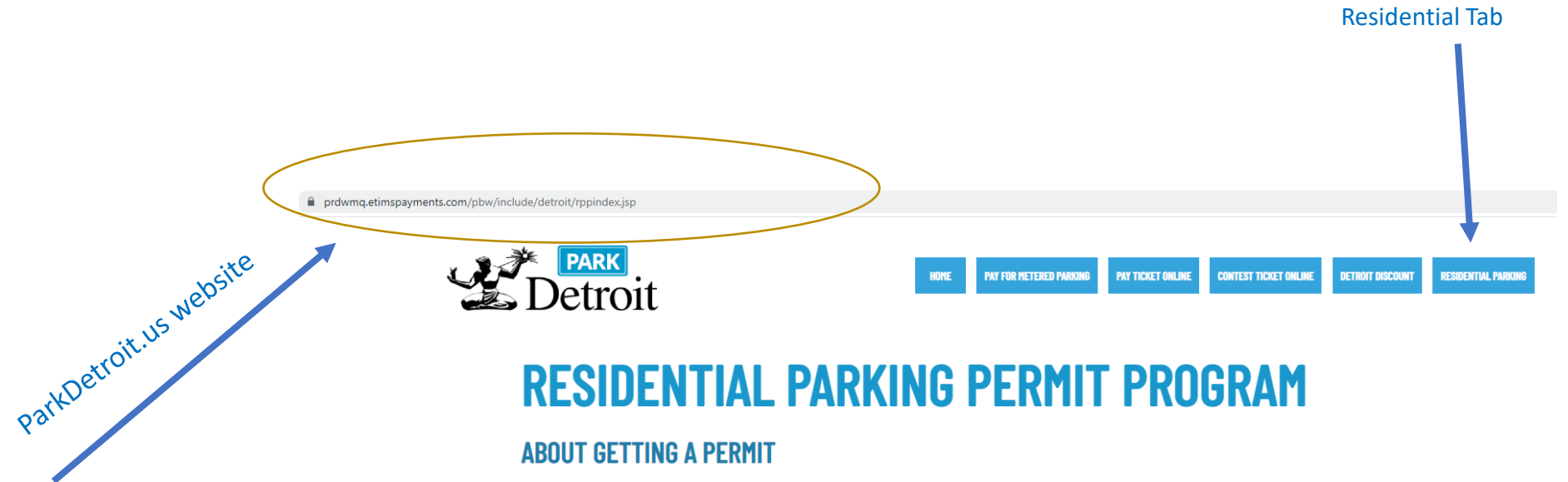
- Two vehicles per permit will be allowed to be registered
- 30 annual visitor passes
- Potentially up to 3 caregiver passes
- Car Rental passes based on visitor pass availability



Non-Residential  
permit holders  
can park in the  
zone but must  
pay the meters  
or parking app



# Residential Parking Permit Access



<https://prdwmq.etimspayments.com/pbw/include/detroit/rppindex.jsp>

## RESIDENTIAL PARKING PERMIT PROGRAM

### ABOUT GETTING A PERMIT

You'll need to provide this information when you apply for Residential Parking Permits.

1. Name of the resident vehicle owner
2. Residential address
3. Operator's state driver's license number
4. Make, model, license plate number
5. Vehicle identification number
6. Current vehicle registration
7. Proof of residency - 1 required:
  - A copy of the applicant's unexpired driver's license; or
  - A copy of a City of Detroit Municipal Identification card; or
  - A declaration of residency by the owner; or
  - A declaration of residency by the manager of a rental property



# Comments or Questions

1 minute maximum per speaker please



