

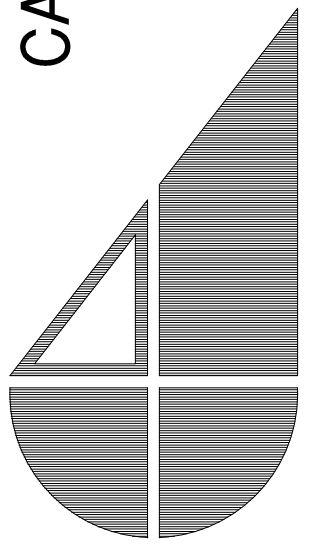
RAINBOW CHILD CARE DEVELOPMENT CENTER

MACK AVE. AND BRUSH STREET
DETROIT, MICHIGAN 48201



72 hours before you dig:
800-482-7171 or 811.

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Rainbow Childcare Development Center

Mack Ave and Brush Street
Detroit, MI 48201

TITLE SHEET

ISSUED
HDC & CPC PRELIM. REVIEW: 7.23.15

DATE
1.29.15
DWN. BY
RMM

PROJECT NO:
15.104

SHEET
T-1



Location Map

Scale: None



Sheet Index

- T - 1 TITLE SHEET
- T - 2 RENDERING BOARD
- AS - 1 ARCHITECTURAL SITE PLAN
- AS - 2 SITE DETAILS
- AS - 3 DUMPSTER SURROUND PLAN, ELEVATIONS & DETAILS
- A - 1 BASEMENT FLOOR PLAN
- A - 2 FIRST FLOOR PLAN
- A - 3 SECOND FLOOR PLAN
- A - 4 NOT USED
- A - 5 EXTERIOR ELEVATIONS
- A - 6 EXTERIOR ELEVATIONS

Zoning Information (City of Detroit)

ZONING DISTRICT
PD-H : PLANNED DEVELOPMENT DISTRICT

SURROUNDING ZONING
NORTH R6: HIGH DENSITY RESIDENTIAL DISTRICT
SOUTH PD-H: PLANNED DEVELOPMENT DISTRICT
EAST PD-H: PLANNED DEVELOPMENT DISTRICT
WEST PD-H: PLANNED DEVELOPMENT DISTRICT

PARKING REQUIREMENTS
CITY OF DETROIT - ZONING ORDINANCE
SECTION 61-14-29

CHILD CARE CENTER
15 EMPLOYEES PROPOSED
15/2 = 7.5 = 8 SPACES

140 CHILDREN @ MAXIMUM LICENSED CAPACITY
140/10 = 14 SPACES

TOTAL REQUIRED = 22
TOTAL PROVIDED = 27

HANDICAP SPACES = 2

Project Information

- DESCRIPTION OF WORK**
- NEW BUILDING INCLUDING SIDEWALKS AND LANDSCAPING
 - NEW PARKING LOT INCLUDING DUMPSTER SURROUND

SQUARE FOOTAGE OF BUILDING PER FLOOR:

FIRST FLOOR: 6,679 S.F.

SECOND FLOOR: 6,679 S.F.

TOTAL: 11,328 S.F.

BASEMENT: 6,679 S.F.

Code Information (MBC 2009)

REVIEWED UNDER

MICHIGAN BUILDING CODE (MBC) 2009
MICHIGAN MECHANICAL CODE 2012
MICHIGAN PLUMBING CODE 2009
MICHIGAN ELECTRICAL CODE 2011
INCORPORATING THE
2008 NATIONAL ELECTRICAL CODE
MICHIGAN ENERGY CODE 2009
INTERNATIONAL FIRE CODE 2009
EDITION WITH LOCAL AMENDMENTS
MICHIGAN BARRIER FREE CODE 2006
INCORPORATED IN 2009 MBC
ADA STANDARDS FOR ACCESSIBLE DESIGN 2010

TYPE OF CONSTRUCTION (SECTION 602.2)
TYPE 5-B WITH SPRINKLER SYSTEM

USE GROUP (Section 305.1)
GROUP "E"

INTENDED USE
EDUCATIONAL / DAY CARE

ALLOWABLE BUILDING HEIGHT (TABLE 503)
2 STORIES : COMPLIES

Abbreviation Index

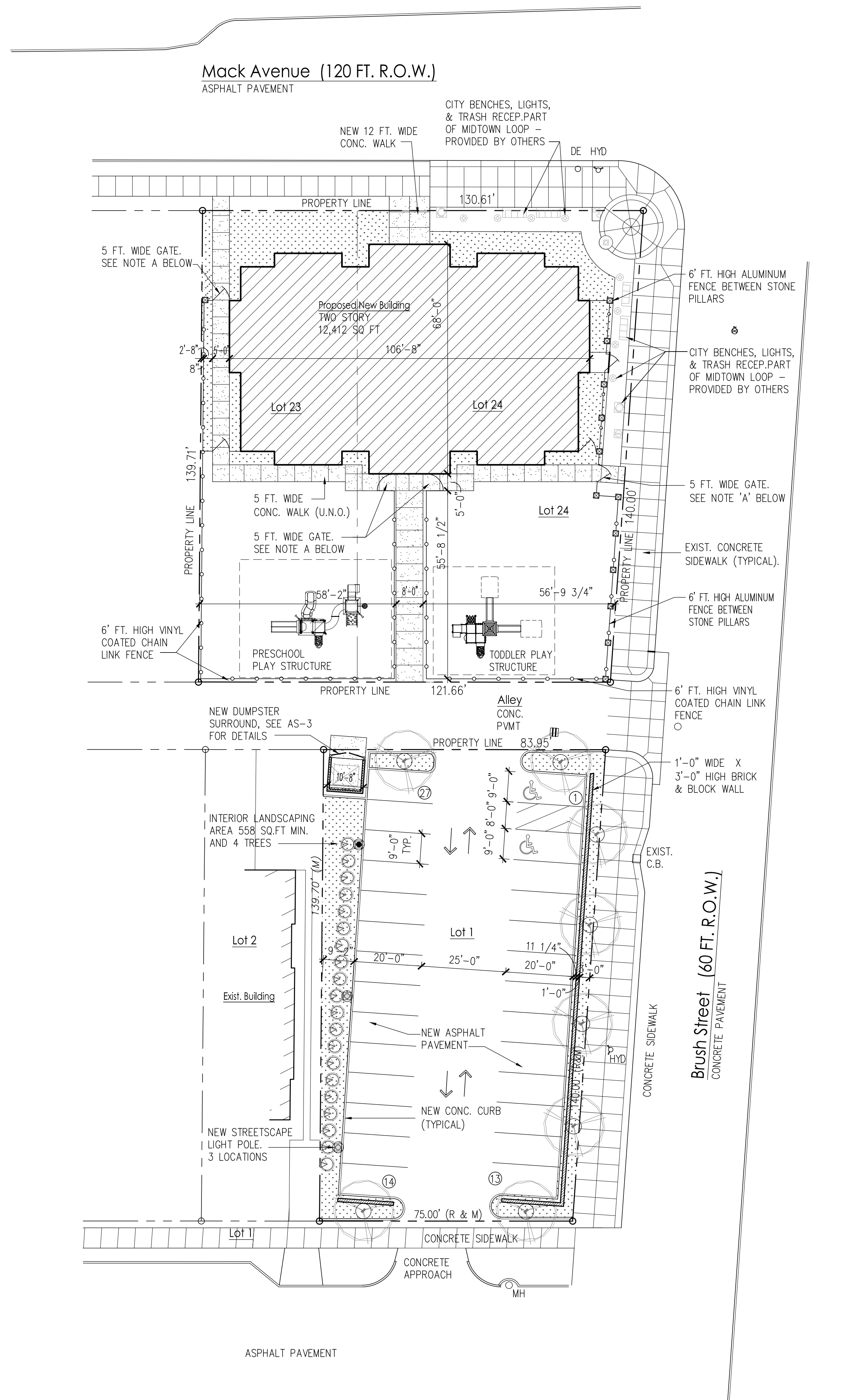
ACT Acoustical Ceiling Tile	COORD Coordinate	EXSTG Existing	GYP Gypsum	LAV Lavatory	PLUMB Plumbing	SQ Square
ADJ Adjustable	CPT Carpet	EXT Exterior	H.C. Hollow Core	LH Left Hand	P.LAM. Plastic Laminate	S.S. Stainless Steel
A.F.F. Above Finish Floor	CT Ceramic Tile	F.A. Fire Alarm	HDWD Hardwood	L.T. Light Track	PR Pair	STD Standard
APPROX Approximately	DET Detail	F.D. Floor Drain	H.M. Hollow Metal	MAX Maximum	PT Paint	STL Steel
ARCH Architectural	DIA Diameter	F.E. Fire Extinguisher	HVAC Heating Ventilating & Air Conditioning	MECH Mechanical	PLYWD Plywood	T&G Tongue and Groove
BLDG Building	DIM Dimension	F.O.S. Face of Studs	H.W.H. Hot Water Heater	MIN Minimum	RAD Radius	THR Threshold
BLKG Blocking	DISP Dispenser	FIN Finish	H.W. Hot Water	MISC Miscellaneous	REC Recessed	T.O. Top Of
BM Beam	DN Down	FIXT Fixture	HOR Horizontal	M.O. Masonry Opening	REQ Required	TYP Typical
CLG Ceiling	D.O. Door Opening	FL Fluorescent	I.D. Inside Diameter	MTD Mounted	RH Right Hand	U.O. Underside Of
CLR Clearance	DR Door	F.E.C. Fire Extinguisher Cab.	IN Inch	MTL Metal	RM Room	U.N.O. Unless Noted Otherwise
C.M.U. Concrete Masonry Unit	DWG Drawing	FT Foot/Feet	INS INSULATION	MAT Material	R.O. Rough Opening	V.C.T. Vinyl Composition Tile
C.O. Cased Opening	EA Each	F.C. Fixture Contractor	INT Interior	N.J.C. Not in Contract	S.C. Solid Core	VERT Vertical
COL Column	EQ Equal	GALV Galvanized	INCL Includes	NO Number	S.F. Square Foot/Feet	W/ With
CONC Concrete	EQUIP Equipment	G.C. General Contractor	K.P. Kick Plate	NOM Nominal	SHT Sheet	W.C. Water Closet
CONSTR Construction	E.W.C. Electric Water Cooler	GL Glass	LAM Laminated	N.T.S. Not To Scale	SIM Similar	WD Wood
CONT Continuous	EXH Exhaust	GWB Gypsum Wall Board		P.E. Pre-engineered	SPEC Specification	W/O Without

Material Key

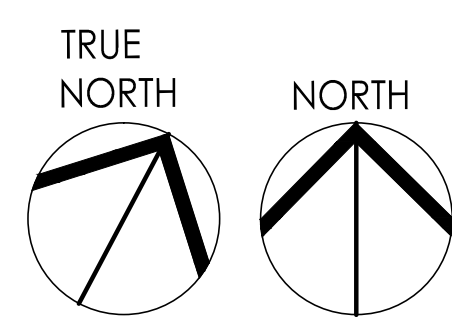
EARTH, GRAVEL	CMU, PLAN	INSULATION, LOOSE
EARTH, UNDISTURBED	GLASS BLOCK, PLAN	INSULATION, RIGID
EARTH, COMPACT FILL	STONE	GYP. BD.
SAND WINDOW/LOUVER	ALUMINUM	TILE, ACT
CONCRETE, STONE	STEEL + OTHER METALS	WOOD FLOORING
CONCRETE, LIGHTWEIGHT	PLYWOOD	CARPET AND PAD
GROUT	WOOD FRAMING, CONT.	FINISH LUMBER
BRICK, COMMON	WOOD BLOCKING, SHIM	WOOD, GLU-LAM

Symbol Key

WALL TYPE	DETAIL
WINDOW/LOUVER	SECTION CUT
DOOR	DETAIL & BUBBLE
KEYNOTE	COLUMN GRID
ELEVATION DATUM	
FLOOR TRANSITION	
FRAMING SPAN DIRECTION	



Mack Avenue (120 FT. R.O.W.)
ASPHALT PAVEMENT



Architectural Site Plan

1" = 20'-0"

Interior Parking Lot Landscaping

SEE SHEET L-1 FOR DETAILS

STREET FRONTAGE TREES
140' STREET FRONTAGE / 30' = 4.6 TREES
PROVIDED STREET FRONTAGE TREES = 6 TREES

INTERIOR PARKING LOT LANDSCAPING:
INTERIOR PARKING LOT SPACES = 27 SPACES
27 SPACES X 18 = 486 S.F.
PROVIDED INTERIOR PARKING LOT LANDSCAPING :
600 SQ FT
600 S.F. > 486 REQUIRED S.F.

REQUIRED NUMBER OF PARKING LOT TREES=
486 SQ. FT. INTERIOR LANDSCAPED AREA / 250 = 1.9 TREES REQ.
2 CANOPY TREES PROPOSED

Legend

- NOTE: SEE LANDSCAPE PLAN ON SHEET L-1 FOR TYPES AND QUANTITIES OF LANDSCAPE ITEMS
- LAWN AREAS
 - CONCRETE
 - PROPOSED DECIDUOUS TREE
 - PROPOSED CONIFEROUS TREE
 - PROPOSED CONIFEROUS SHRUB
 - EXISTING TREES & LANDSCAPING
 - EXISTING LIGHT POLES
 - NEW LIGHT POLES

List of Site Modifications

1. PROPOSED PARKING LAYOUT
2. PROPOSED LANDSCAPE PLANTINGS

Parking Spaces

CHILD CARE CENTER
1 PER 2 EMPLOYEES PLUS 1 SPACE FOR EACH 10 CHILDREN BASED ON MAXIMUM LICENSED CAPACITY

15 EMPLOYEES PROPOSED
15/2 = 7.5 = 8 SPACES

140 CHILDREN @ MAXIMUM LICENSED CAPACITY
140/10 = 14 SPACES

TOTAL REQUIRED	22
TOTAL PROVIDED	27
HANDICAP SPACES	2

Outdoor Play Area

TOTAL REQUIRED PER CITY OF DETROIT (SEC. 61-12-114):
MIN. 2,000 SQ FT

TOTAL REQUIRED PER MICHIGAN LICENSING RULES (R.400.8170):
MIN. 1,200 SQ FT

TOTAL PROVIDED:
APPROX. 7,000 SQ FT

NOTE 'A':
PROVIDE "TRU-CLOSE" HEAVY DUTY, ADJUSTABLE SELF-CLOSING HINGES. GATE IS NON-LOCKING (ALWAYS FREE- NO LATCH) TO ACCOMMODATE PATH OF EGRESS PER BUILDING CODE.

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Rainbow Childcare Development Center
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Architectural Site Plan

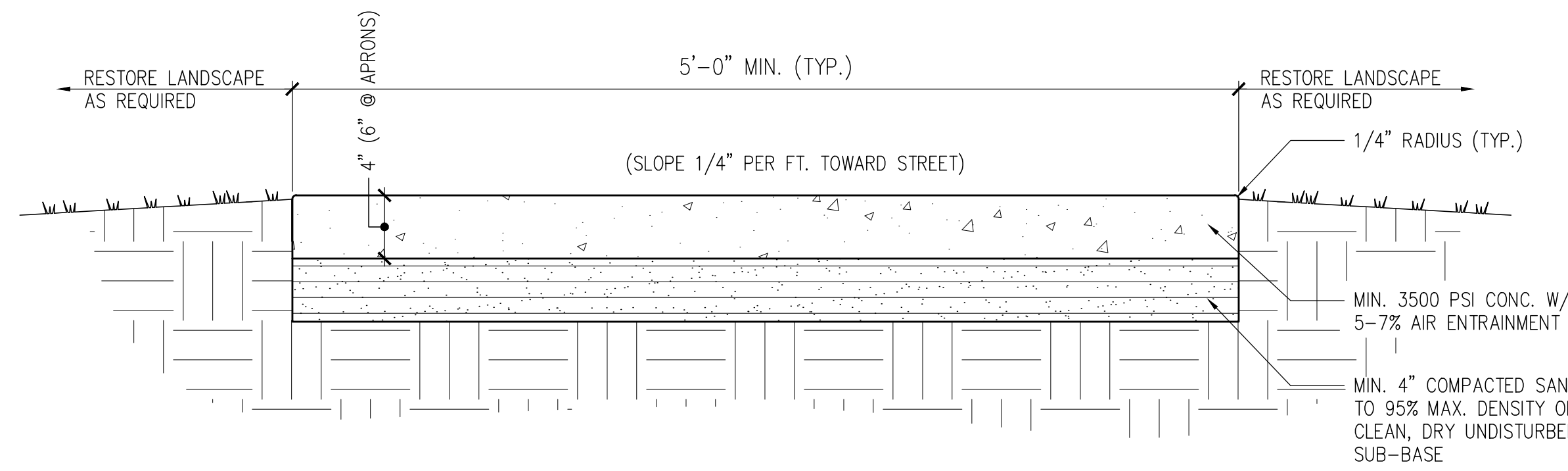
ISSUED

REVIEW:	4.30.15
CDC SUBMITTAL:	5.1.15
CDC PRESENTATION:	5.12.15
HDC & CPC PRELIM. REVIEW:	6.19.15
HDC & CPC PRELIM. REVIEW:	7.10.15
HDC & CPC PRELIM. REVIEW:	7.23.15

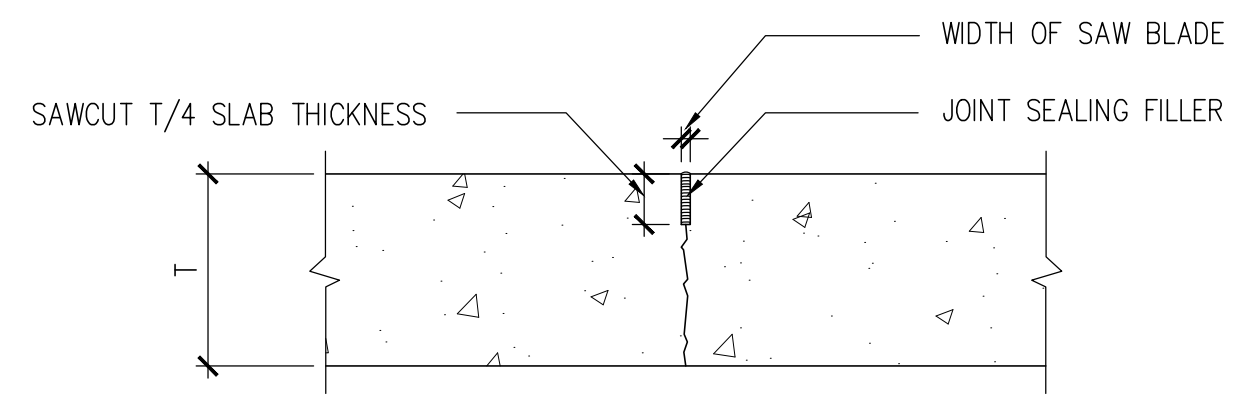
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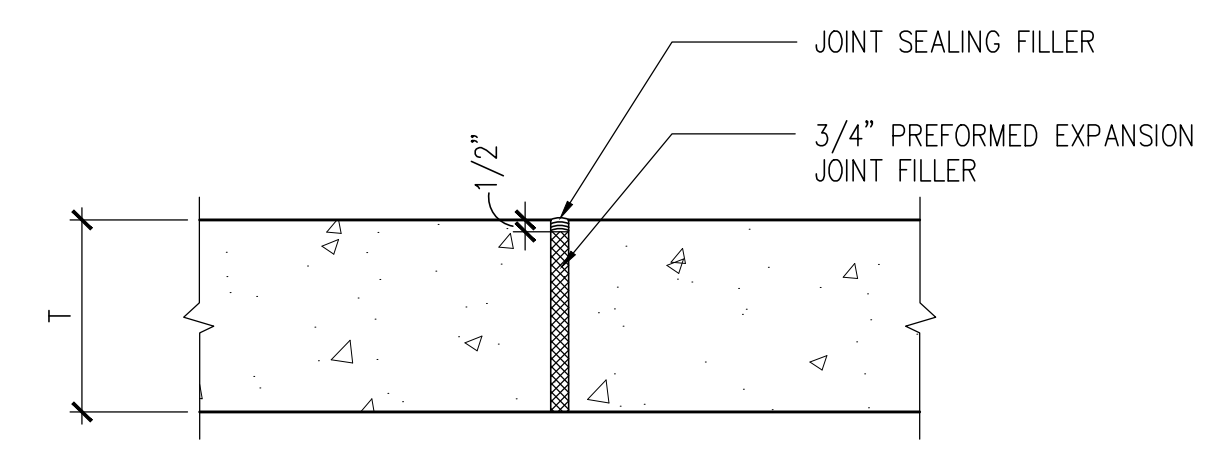
SHEET
AS-1



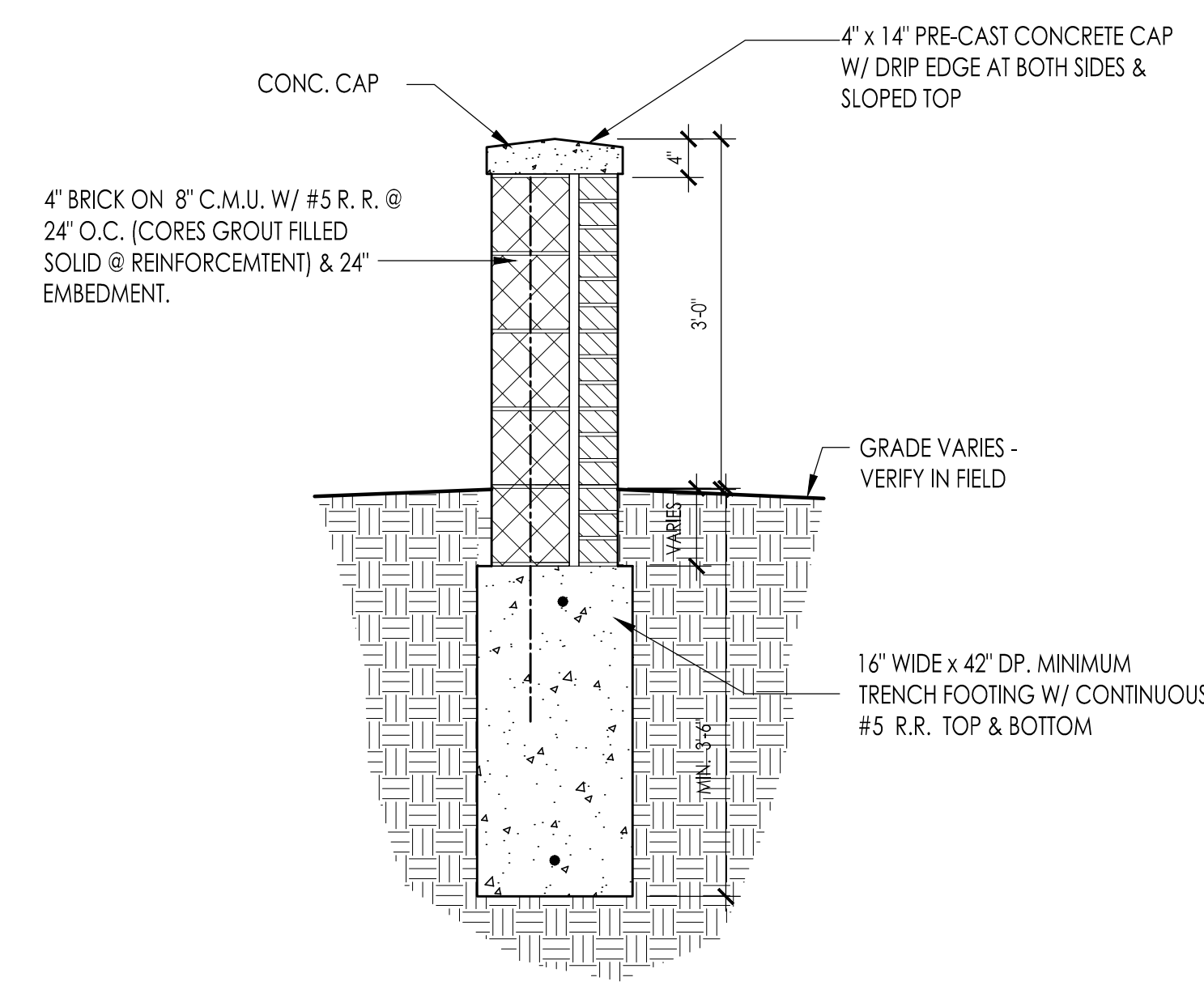
1 Concrete Sidewalk Detail
 AS-1 1-1/2" = 1'-0"



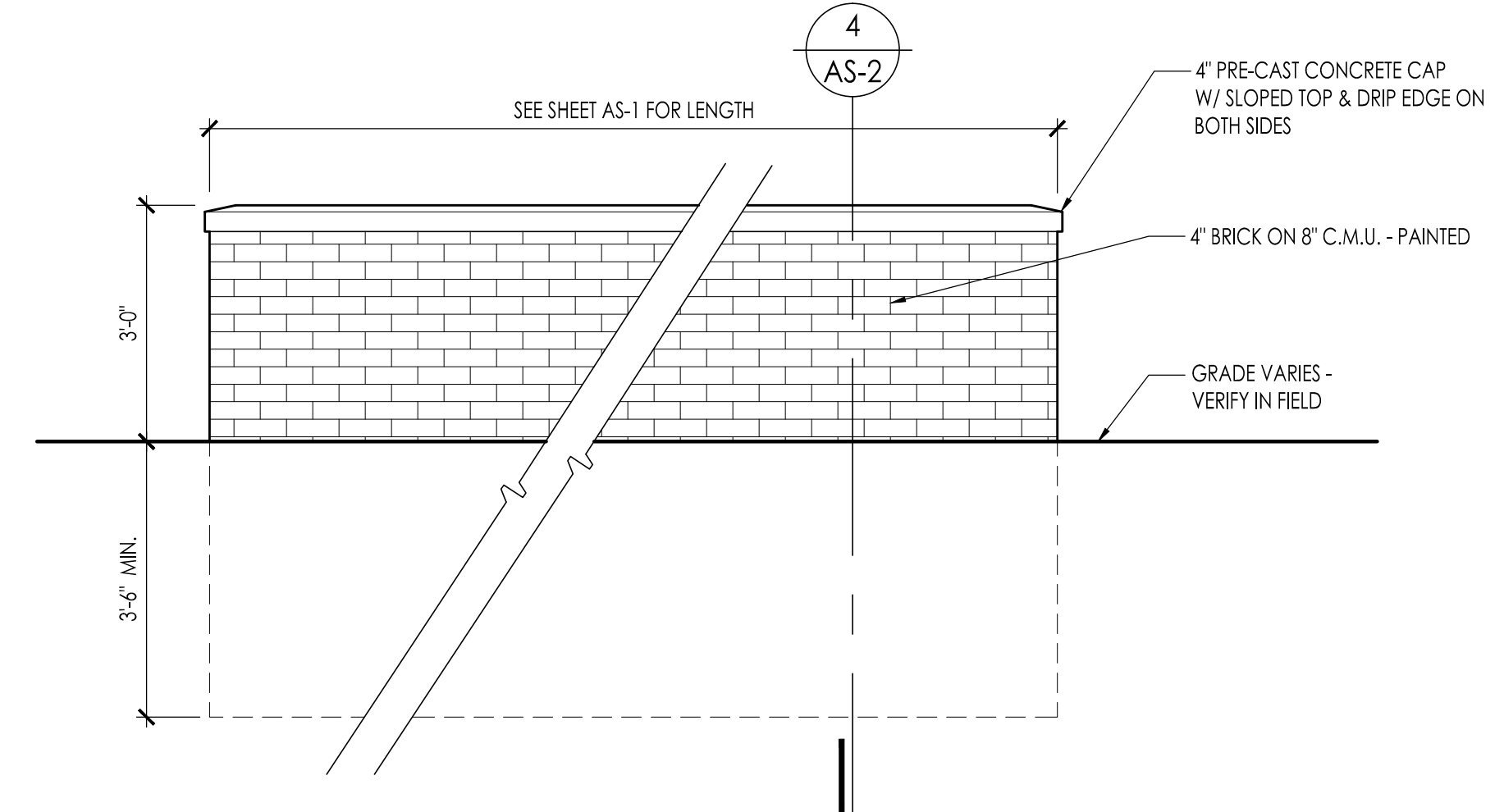
2 Concrete Control Joint Detail
 AS-1 NO SCALE



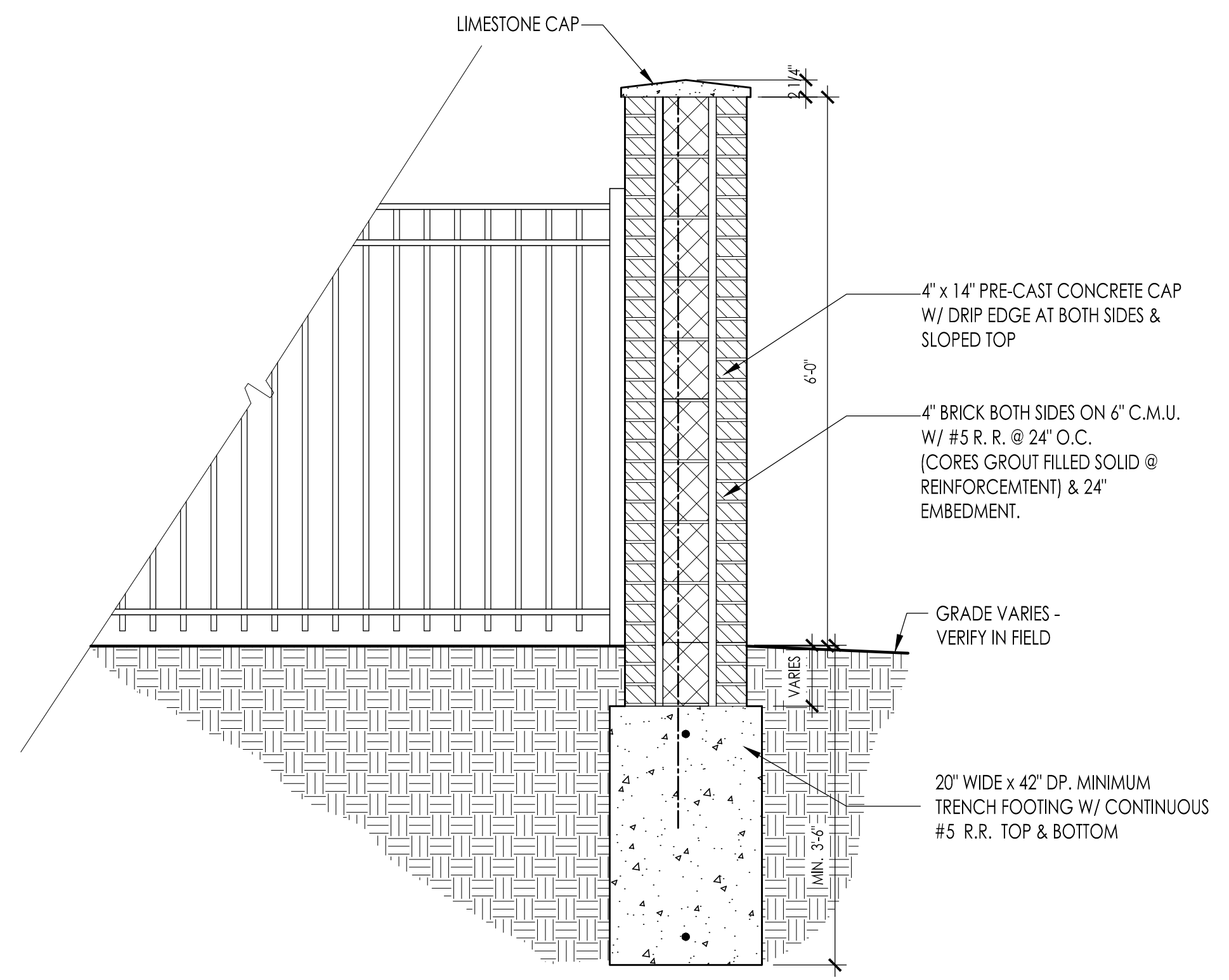
3 Concrete Expansion Joint Detail
 AS-1 NO SCALE



4 Masonry Screen Wall Detail
 AS-1 3/4" = 1'-0"



Masonry Screen Wall Elevation
 Scale: 1/2" = 1'-0"



5 Brick Pier & Wrought Iron Fence
 AS-1 3/4" = 1'-0"

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HDC & CPC PRELIM. REVIEW: 6.19.15

HDC & CPC PRELIM. REVIEW: 7.23.15

DATE

1.29.15

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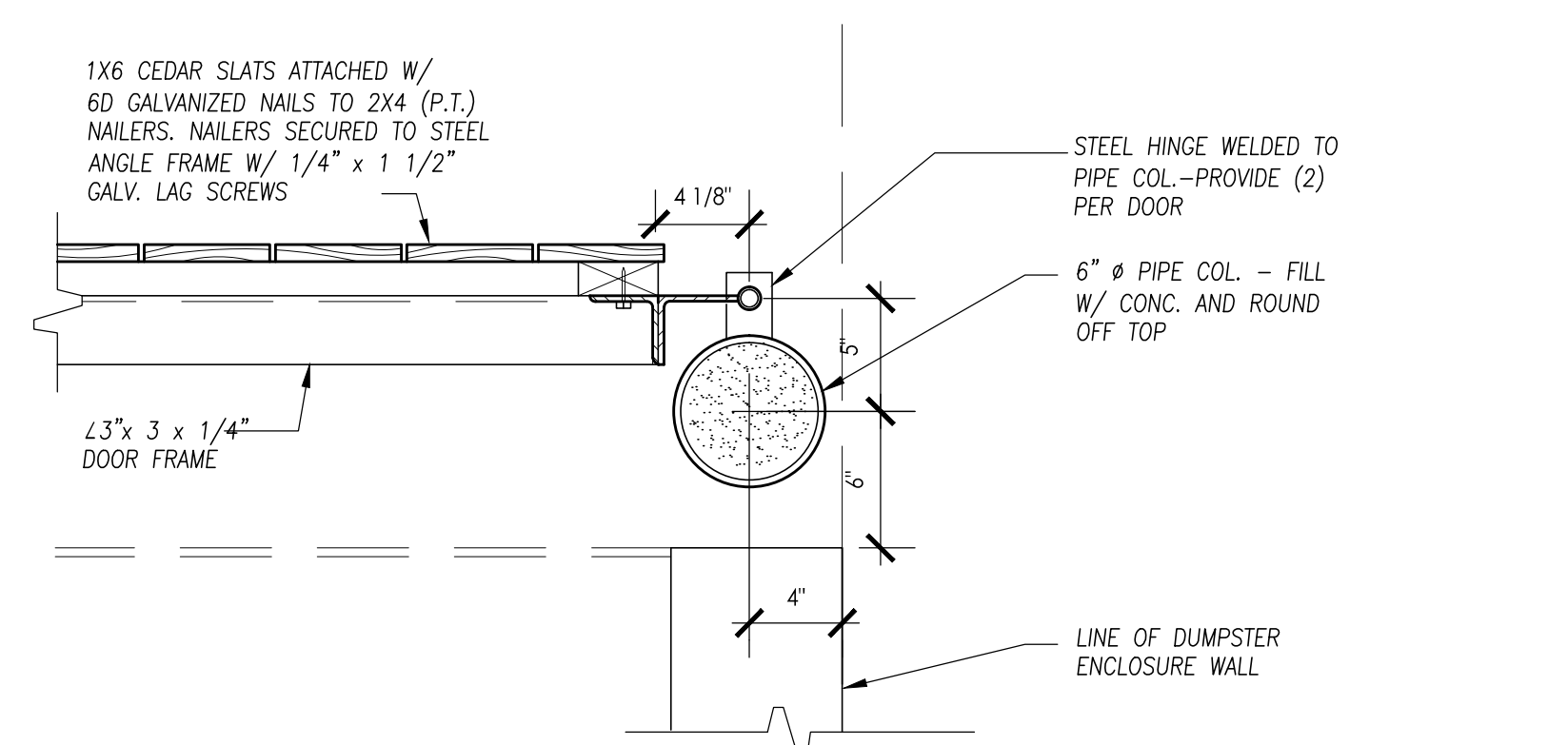
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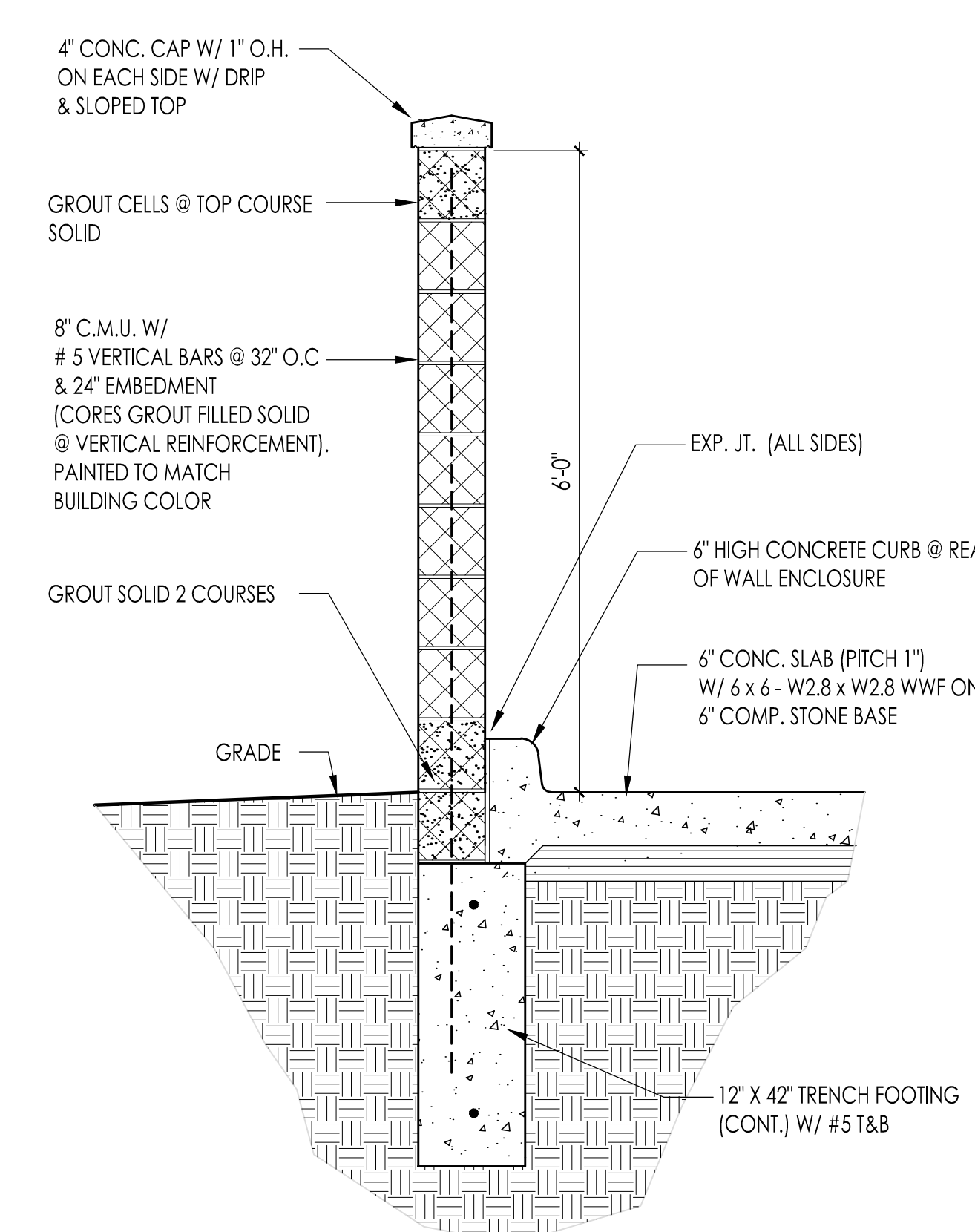
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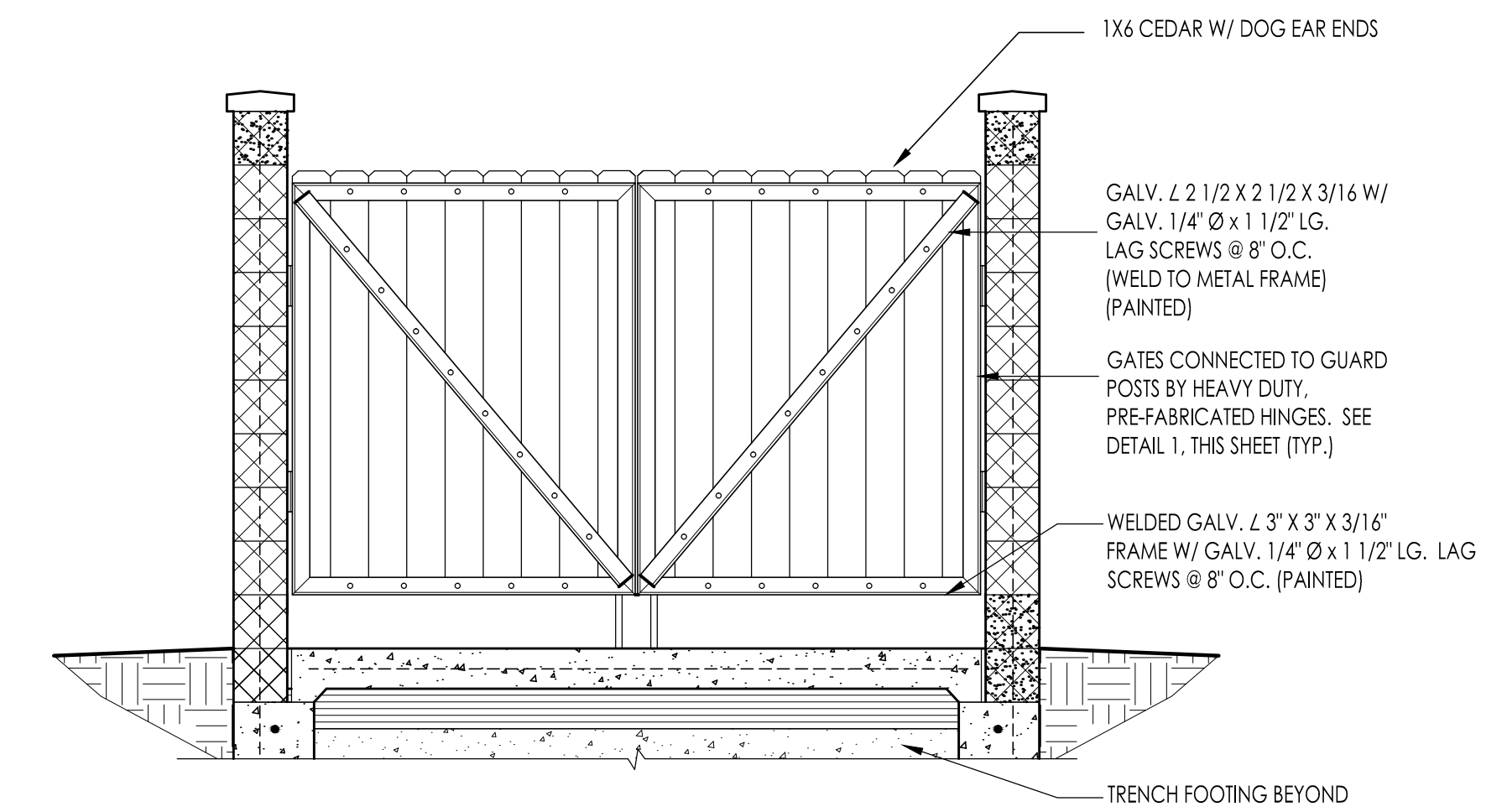
AS-2



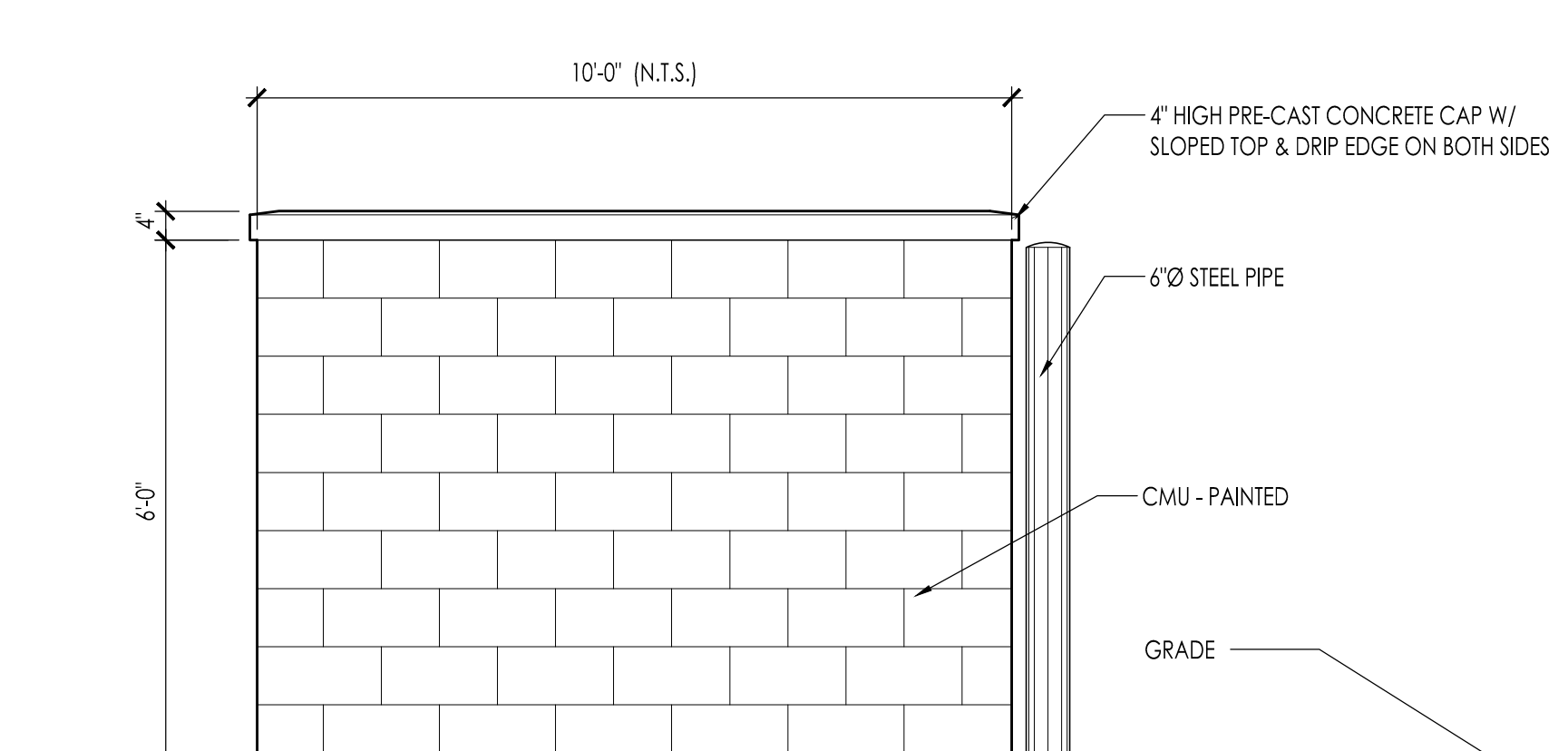
3 Post Detail
 AS-3
 Scale: 1 1/2" = 1'-0"



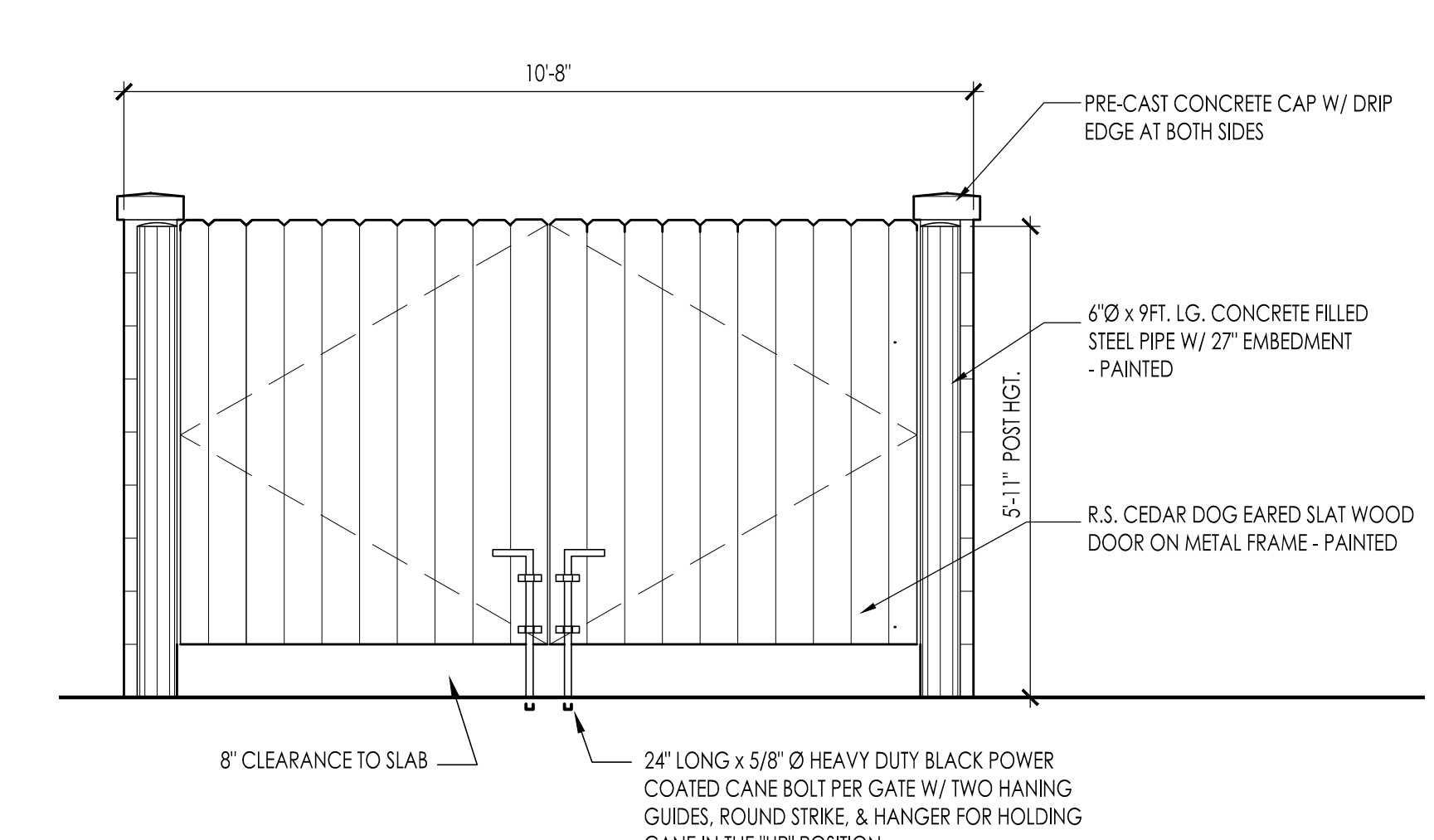
2 Section at Dumpster Enclosure
 AS-3
 Scale: 3/4" = 1'-0"



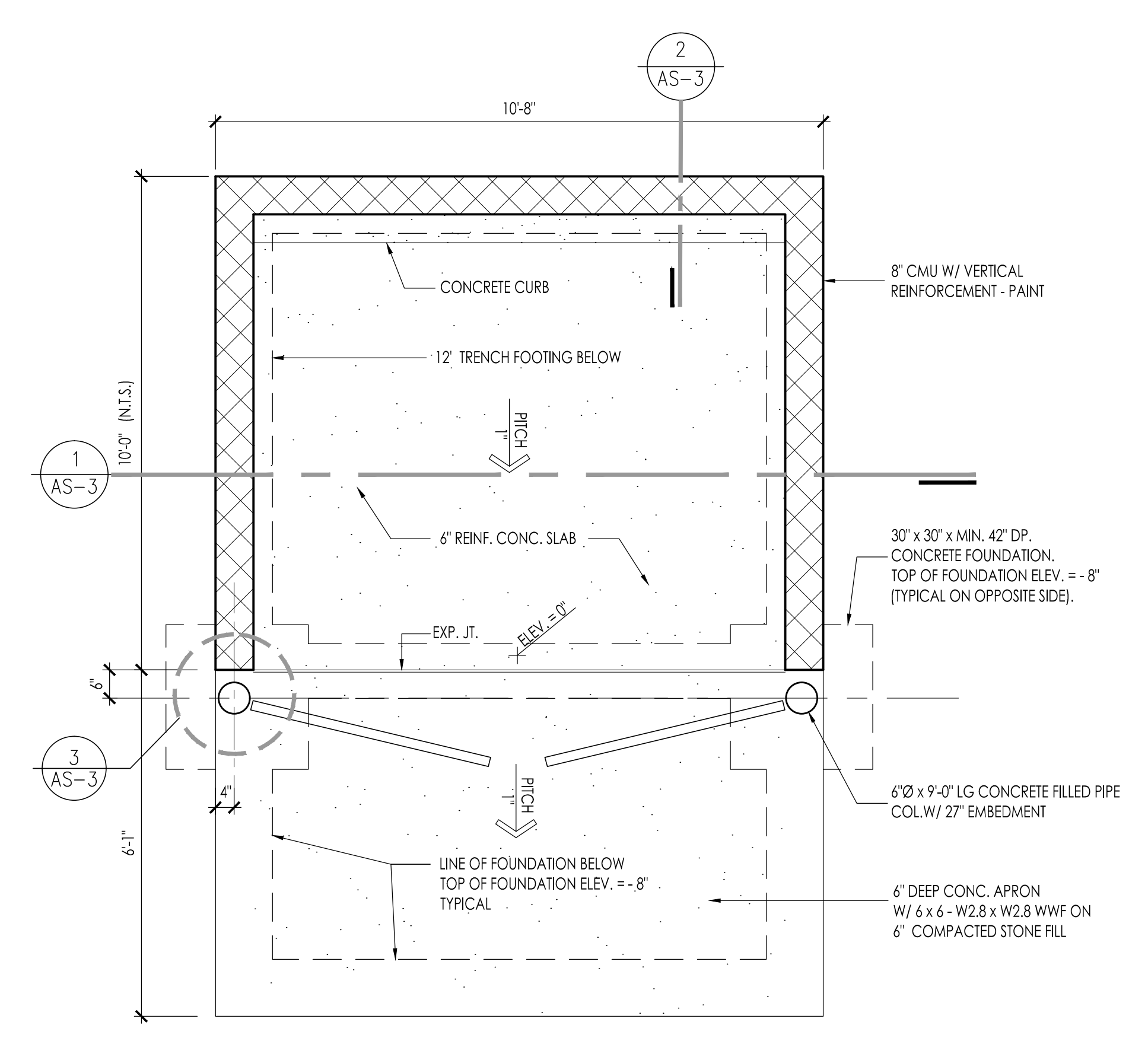
1 Section Thru Dumpster Surround
 AS-3
 Scale: 1/2" = 1'-0"



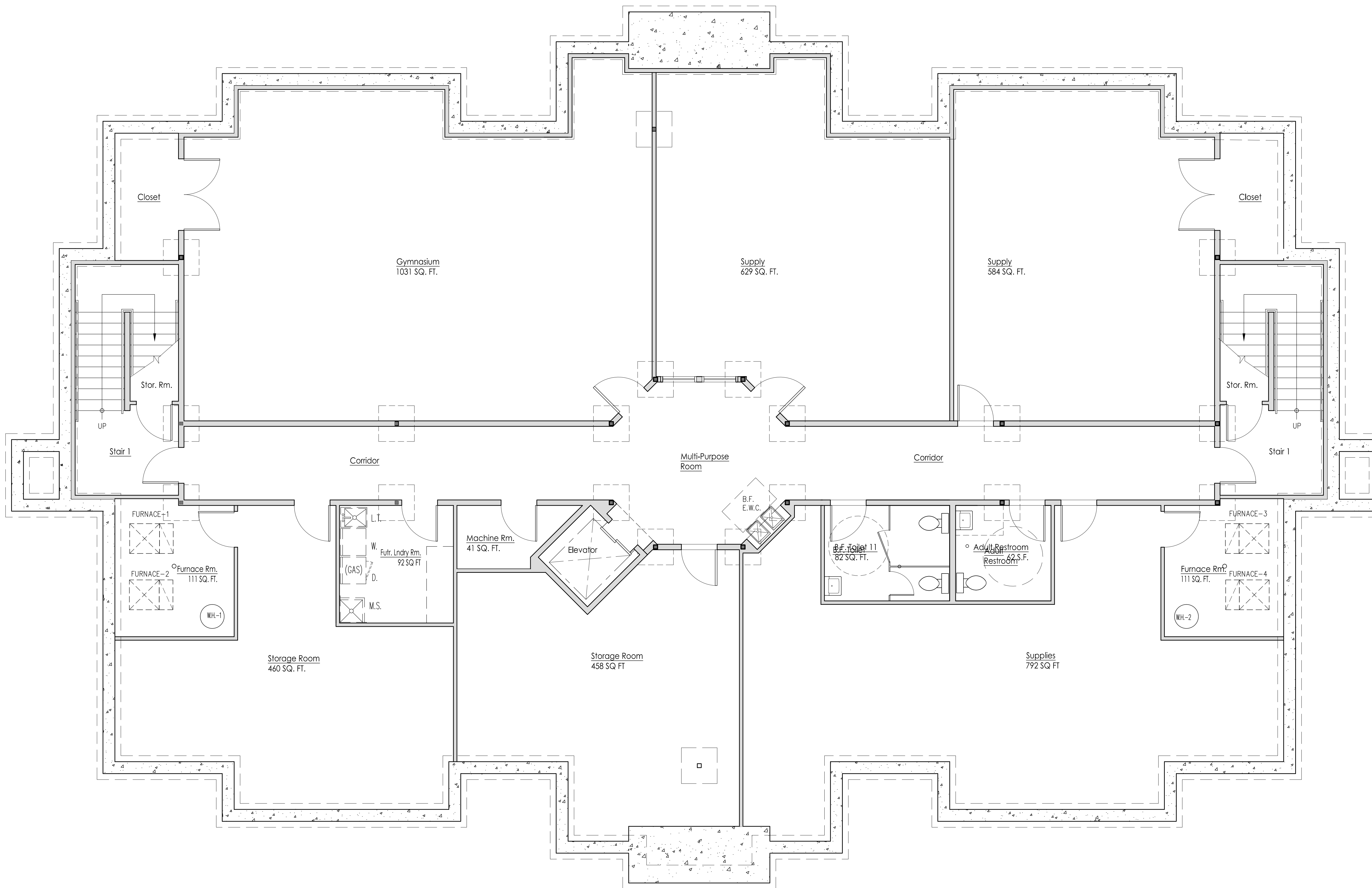
Dumpster Surround East Elevation
 Scale: 1/2" = 1'-0"



Dumpster Surround North Elevation
 Scale: 1/2" = 1'-0"



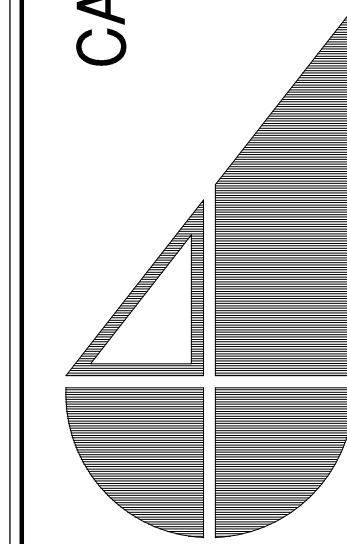
Dumpster Surround Plan
 Scale: 1/2" = 1'-0"



Proposed Basement Floor Plan

Scale: 1/4" = 1'-0"

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BASEMENT FLOOR PLAN

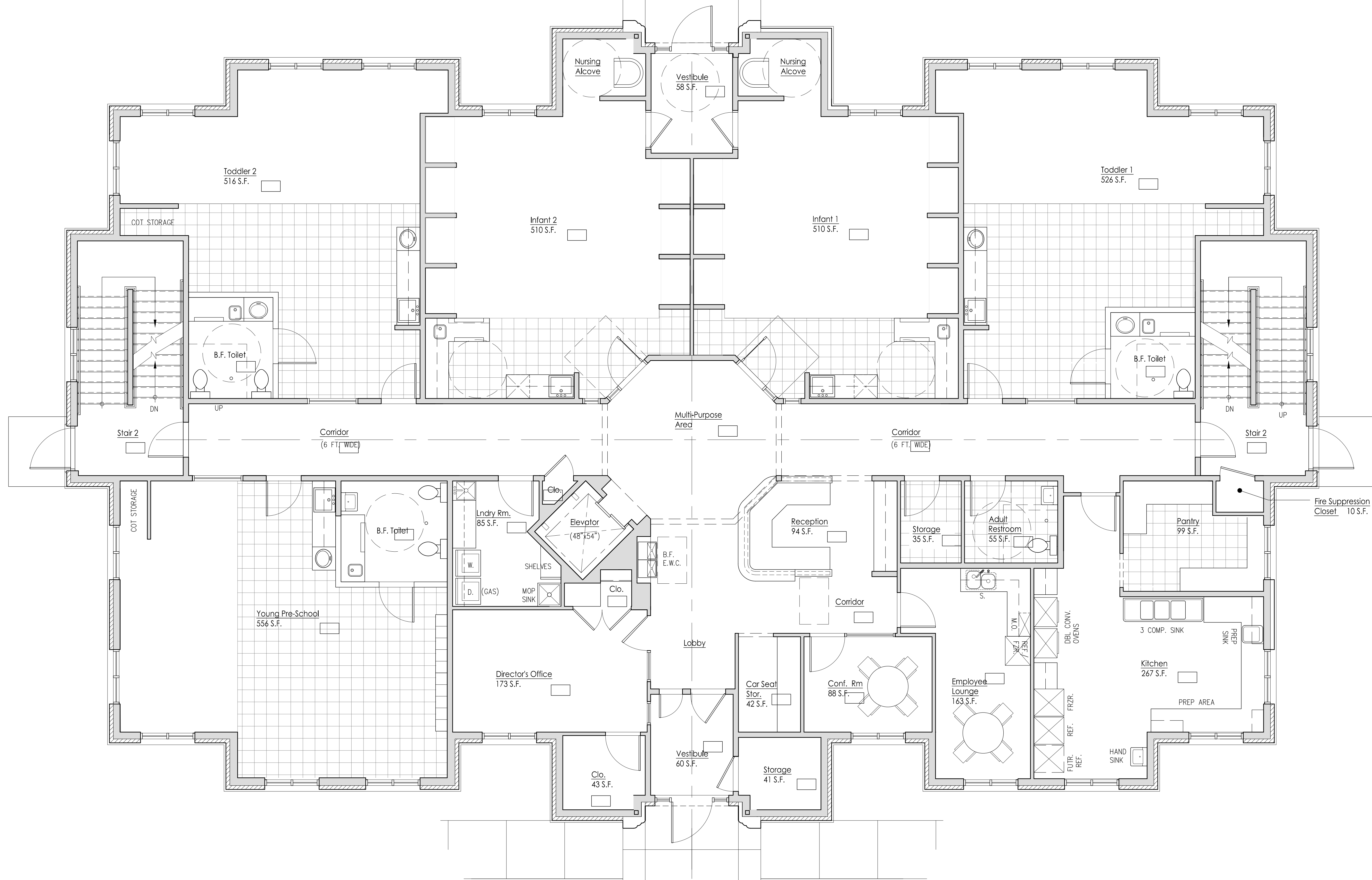
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 HDC & CPC PRELIM. REVIEW: 6.19.15
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PROJECT NO:
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SHEET
 A-1

Mack Ave.



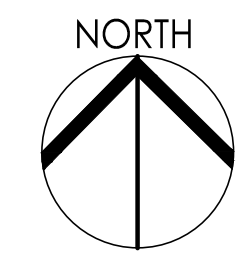
ISSUED

CDC SUBMITTAL:	5.01.15
CDC PRESENTATION:	5.12.15
CLIENT REVIEW:	06.03.15
CLIENT REVIEW:	06.15.15
HDC & CPC PRELIM. REVIEW:	6.19.15
HDC & CPC PRELIM. REVIEW:	7.23.15

DATE	1.29.15
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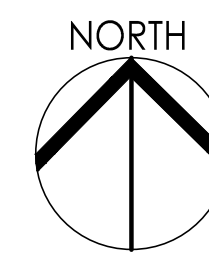
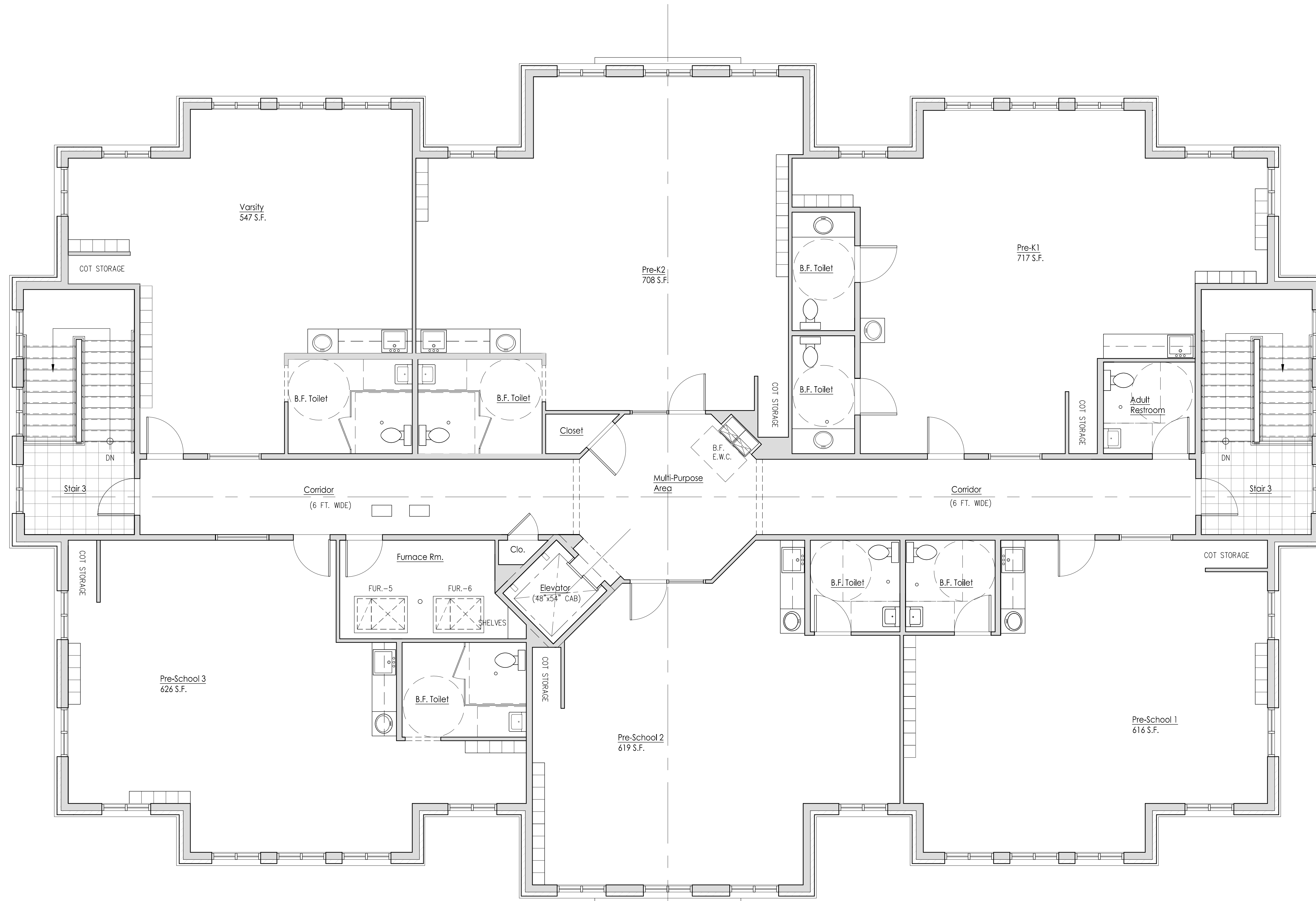
PROJECT NO:	15.104
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SHEET	A-2
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First Floor Plan
 6252 S.F.

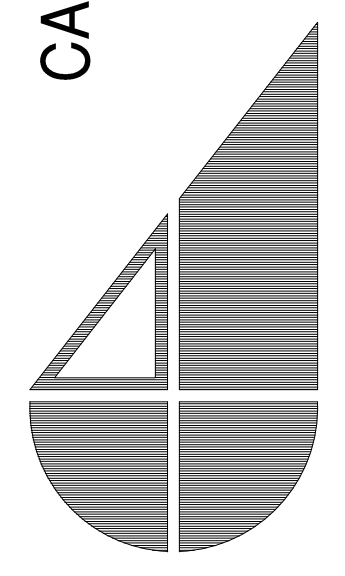
Scale: 1/4" = 1'-0"



Second Floor Plan
6042 S.F.

Scale: 1/4" = 1'-0"

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SECOND FLOOR PLAN

ISSUED
CDC SUBMITTAL: 5.01.15
CDC PRESENTATION: 5.12.15
CLIENT REVIEW: 06.03.15
CLIENT REVIEW: 06.15.15
HDC & CPC PRELIM. REVIEW: 6.19.15
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SHEET A-3

ISSUED

CDC SUBMITTAL: 5.01.15
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CPC MEETING: 9.15.15
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DATE 1.29.15
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PROJECT NO: 15.104

SHEET A-5



West Elevation
 (East Elevation Similar) Scale: 3/16" = 1'-0"



North Elevation
 (South Elevation Similar) Scale: 3/16" = 1'-0"

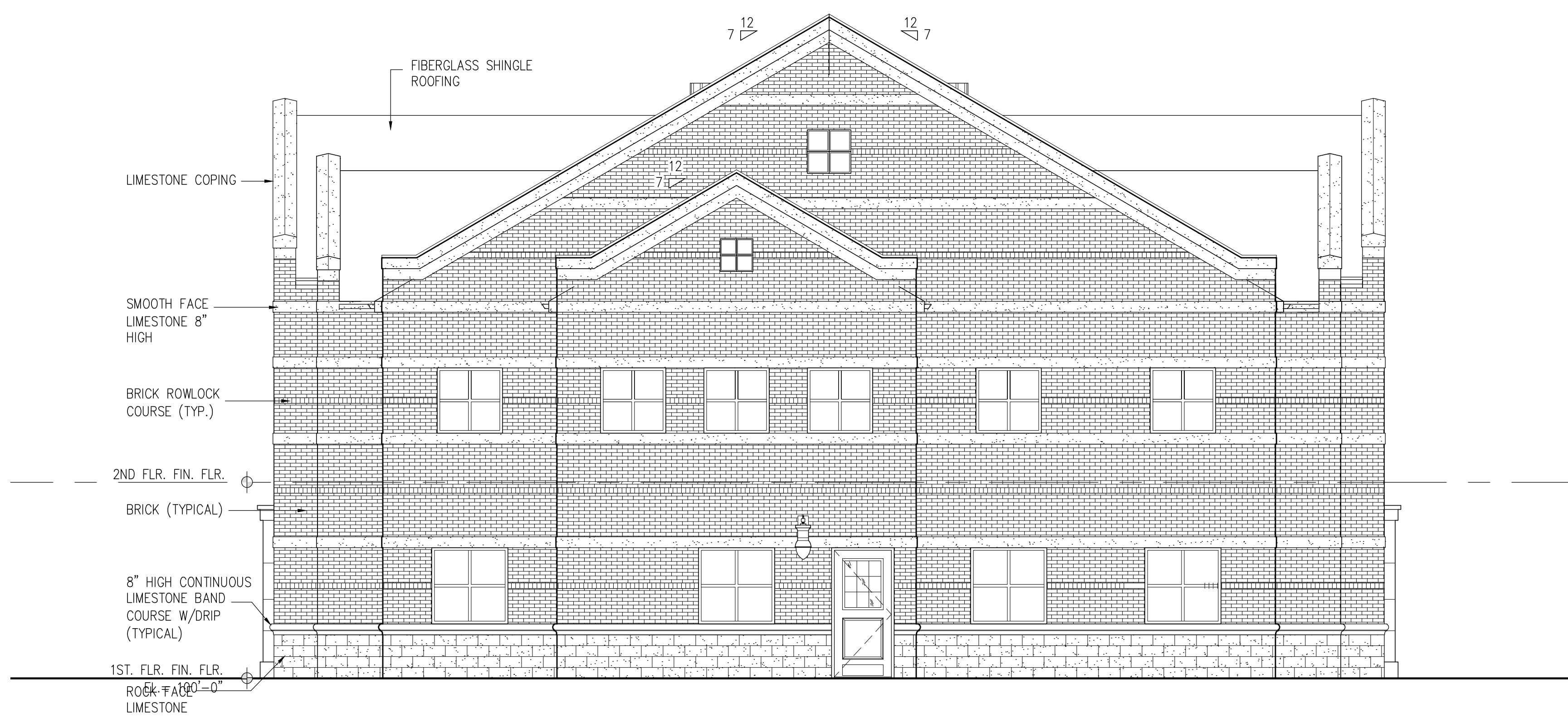
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CDC SUBMITTAL:	5.01.15
HDC MEETING:	8.12.15
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SHEET	A-6
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East Elevation

Scale: 3/16" = 1'-0"



South Elevation

Scale: 3/16" = 1'-0"